

**CITY OF WEST DES MOINES
PLAN AND ZONING COMMISSION COMMUNICATION**

Meeting Date: May 21, 2018

Item: Microsoft DM04, 8855 Grand Avenue – Approval of a Major Modification to a Site Plan to construct additional data center buildings and related site improvements – Microsoft Corporation – MaM-003886-2018

Requested Action: Recommend approval of a Major Modification to a Site Plan

Case Advisor: Brian Portz, AICP 

Applicant's Request: The applicant, Microsoft Corporation, requests approval of a major modification to a site plan to construct approximately 121,000 square feet of data center buildings with site modifications on the existing Microsoft data center site at 8855 Grand Avenue. This modification will be completed in 3 phases and will include construction of 3 new buildings with a total square footage of approximately 121,000 square feet to the west of phase 1 that is currently under construction on the Microsoft Grand Avenue site. This major modification will also include additional landscape plantings on the south side of the property to screen the mechanical units required of the data center buildings.

History: The subject property was annexed into the City as a part of the McKinney Annexation. The property was rezoned in 2008 and made a part of the West Grand Business Park PUD. The property was platted into the Raccoon River Plat 1 in 2009. Site plans were approved in 2010, 2011, 2013 and 2017 to construct the existing Microsoft buildings on the property.

City Council Subcommittee: This project was presented to the Development and Planning City Council Subcommittee on April 30, 2018 as an informational item. The Subcommittee members indicated support of the project.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There are no outstanding issues, however, staff would highlight the following:

- **Mechanical Screening:** The proposed data center building requires extensive mechanical equipment/backup generators on the exterior of the building to operate. These units will be located on the north and south sides of the buildings and will be screened with evergreen trees along the south property line within the existing chain link fence around the site.
- **Public Sidewalks and Streetlights:** As part of the platting and site planning of DM1 and DM2, the applicant was informed that they would be responsible for the installation of public sidewalks and public streetlights along Grand Avenue and S88th Street. The Preliminary and Final Plat, as well as the site plans for DM1, DM2 and the Major Modification for phase 1 of DM4 contained conditions of approval requiring the installation of these improvements. Street lights have been installed along S. 88th Street and up to the entrance to the applicant's site on Grand Avenue. The applicant is responsible for the installation of streetlights west of the entrance to their site at such time that Grand Avenue is extended west. Staff recommends the modification of a previously established condition of approval regarding this matter to reflect Microsoft's responsibility for installation, if not otherwise addressed as part of a separate agreement with the city. The timing of installation of the improvements has been adjusted to reflect installation prior to occupancy of the final building within this 41.95 acre parcel.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various City departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.
2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies, City Departments, and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan, staff recommends the Plan and Zoning Commission adopt a resolution recommending the City Council approve the Major Modification to a Site Plan to construct additional data center buildings and related site improvements, subject to the applicant meeting all City Code requirements and the following:

1. Prior to the issuance of a final occupancy permit for the final building within this 41.95 acre site, if not otherwise addressed as part of a separate agreement with the City, the applicant shall install public street lights along Grand Avenue west of the entrance to the applicant's property at such time that Grand Avenue is extended west. Additionally, prior to issuance of the last occupancy permit, public sidewalks shall be constructed along the north side of Grand Avenue from the intersection of Grand Avenue and S. 88th Street to the western boundary of the applicant's property; and along the west side of S. 88th Street from the intersection of Grand Avenue and S. 88th Street to the applicant's northern property boundary.

Property Owner/Applicant: Microsoft Corporation
One Microsoft Way
Redmond, Washington 98052
Attn: John Widtfeldt
jowidtf@microsoft.com

Applicant's Representative: Page
400 West Cesar Chavez Street, Suite 500
Austin, TX 78701
Attn: Gary Moss
gmoss@pagethink.com

Attachments:

Attachment A	-	Plan and Zoning Commission Resolution
Exhibit A		Conditions of Approval
Attachment B	-	Location Map
Attachment C	-	Site Plan Drawings
Attachment D	-	Building Elevations

RESOLUTION NO. PZC- 18-039

A RESOLUTION OF THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES, RECOMMENDING TO THE CITY COUNCIL THAT IT APPROVE A MAJOR MODIFICATION (MaM-003886-2018) TO CONSTRUCT ADDITIONAL DATA CENTER BUILDINGS AND RELATED SITE IMPROVEMENTS AT 8855 GRAND AVENUE

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq. of the West Des Moines Municipal Code, the applicant, Microsoft Corporation, has requested approval of a Major Modification Permit (MaM-003886-2018) for that property located at 8855 Grand Avenue to construct approximately 121,000 square feet of data center buildings with related site improvements;

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which are made a part of this record and herein incorporated by reference;

WHEREAS, on May 21, 2018, this Commission held a duly-noticed public meeting to consider the application for Major Modification;

NOW, THEREFORE, THE PLAN AND ZONING COMMISSION OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report noted above, or as amended orally at the meeting on this date, are adopted.

SECTION 2. The Major Modification to construct approximately 121,000 square feet of data center buildings with site modifications is recommended to the City Council for approval, subject to compliance with all the conditions in the staff report, including conditions added at the meeting, and attached hereto as Exhibit "A". Violation of any such conditions shall be grounds for revocation of the permit, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on May 21, 2018.

Craig Erickson, Chair
Plan and Zoning Commission

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Plan and Zoning Commission of the City of West Des Moines, Iowa, at a regular meeting held on May 21, 2018, by the following vote:

AYES:
NAYS:
ABSTENTIONS:
ABSENT:

ATTEST:

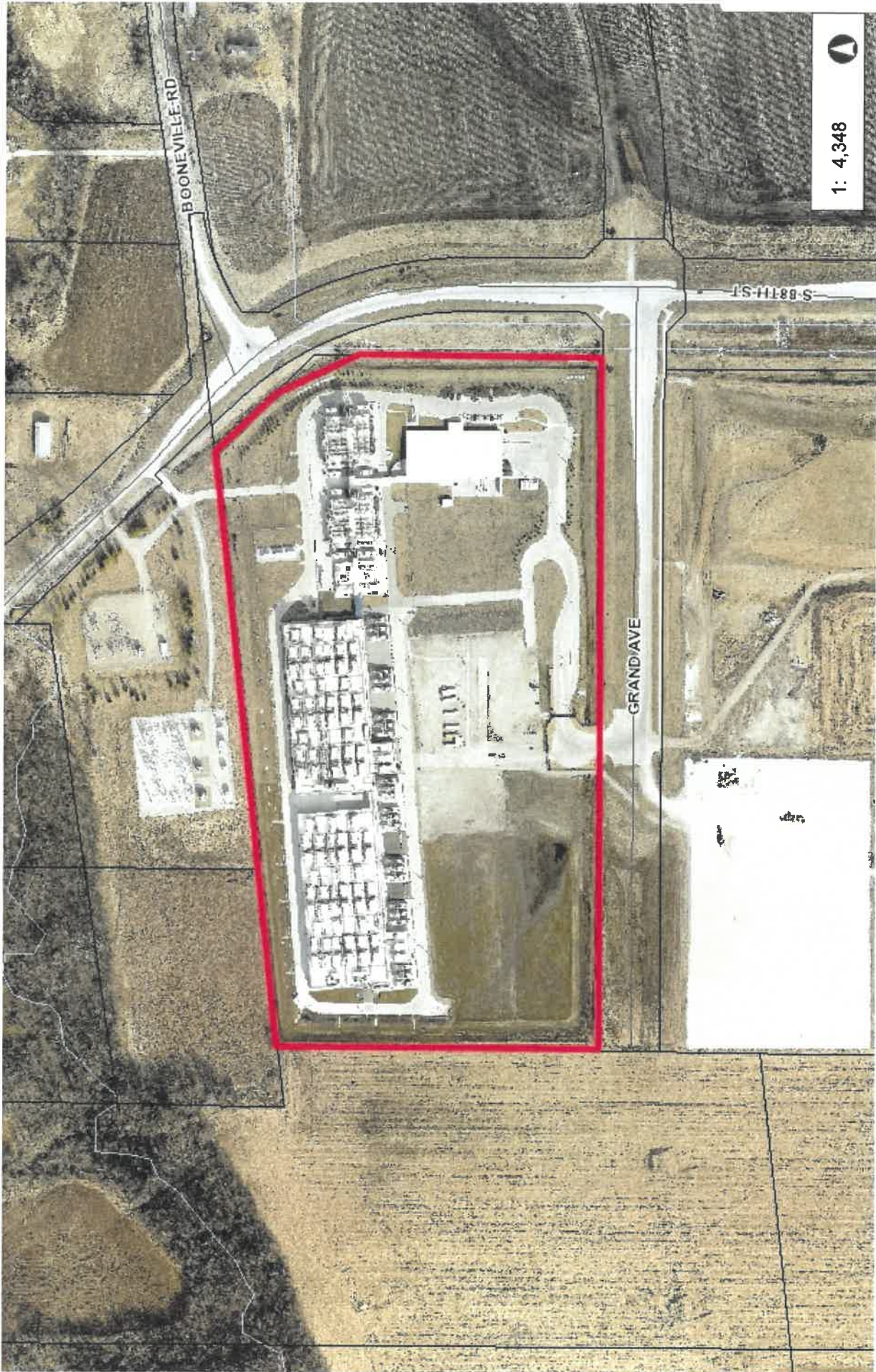
Recording Secretary

Exhibit A
CONDITIONS OF APPROVAL

1. Prior to the issuance of a final occupancy permit for the final building within this 41.95 acre site, if not otherwise addressed as part of a separate agreement with the City, the applicant shall install public street lights along Grand Avenue west of the entrance to the applicant's property at such time that Grand Avenue is extended west. Additionally, prior to issuance of the last occupancy permit, public sidewalks shall be constructed along the north side of Grand Avenue from the intersection of Grand Avenue and S. 88th Street to the western boundary of the applicant's property; and along the west side of S. 88th Street from the intersection of Grand Avenue and S. 88th Street to the applicant's northern property boundary.



Microsoft DM4



1: 4,348



724.6 0 362.31 724.6 Feet

NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
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Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

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Microsoft
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50266

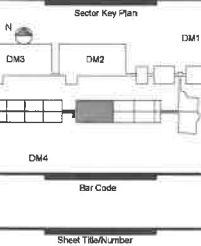
Design	Page
Drawn	JTB
Checked	SAH
City	
Project No.	18004
MSL Project No.	5001

Approvals		
MICROSOFT		
Design Manager	GREG DEENEY	Date
Landscape Manager	STEVE GILES	
Civil Engineer	DAN SCHAEFFER	
Architectural & Structural Engineer	TODOR NIKOLOV	
Interior Planning & Design	PETER WANGSA	
Building Information Systems	PAUL HILDE	
Electrical Engineer	STEVE STEINERT	
Structural Engineer	KISS RECKING	
Telecommunications	CARLOS BLANCO	
Security Design Manager	COREY HANSEN	

DESIGN TEAM		
Civil Engineering Lead	STEVE PERCE / NAVIK	Date
Structural Engineering Lead	DAVID BROWN / PKB	
Architectural Lead	BRYAN HAYWOOD / PAGE	
Interior & Engineering Lead	GREG PETERSEN / PAGE	
Planning Engineering Lead	PAUL STORPER / PAGE	
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Electrical Engineering Lead	GAMERON BROWN / PAGE	
Structural Engineering Lead	TIM HANSEN / PAGE	
Telecommunications Engineering Lead	SCOTT WALKER / RIMROCK	
Security Engineering Lead	JOHN FOWLER / ZETA	

Revisions		
No.	Date	Description
A	11 MAY 2017	30% SCHEMATIC DESIGN
B	07 JUNE 2017	60% DESIGN DEVELOPMENT
C	05 JULY 2017	90% CD ISSUE
D	11 JULY 2017	100% DESIGN COMPLETION

Registration

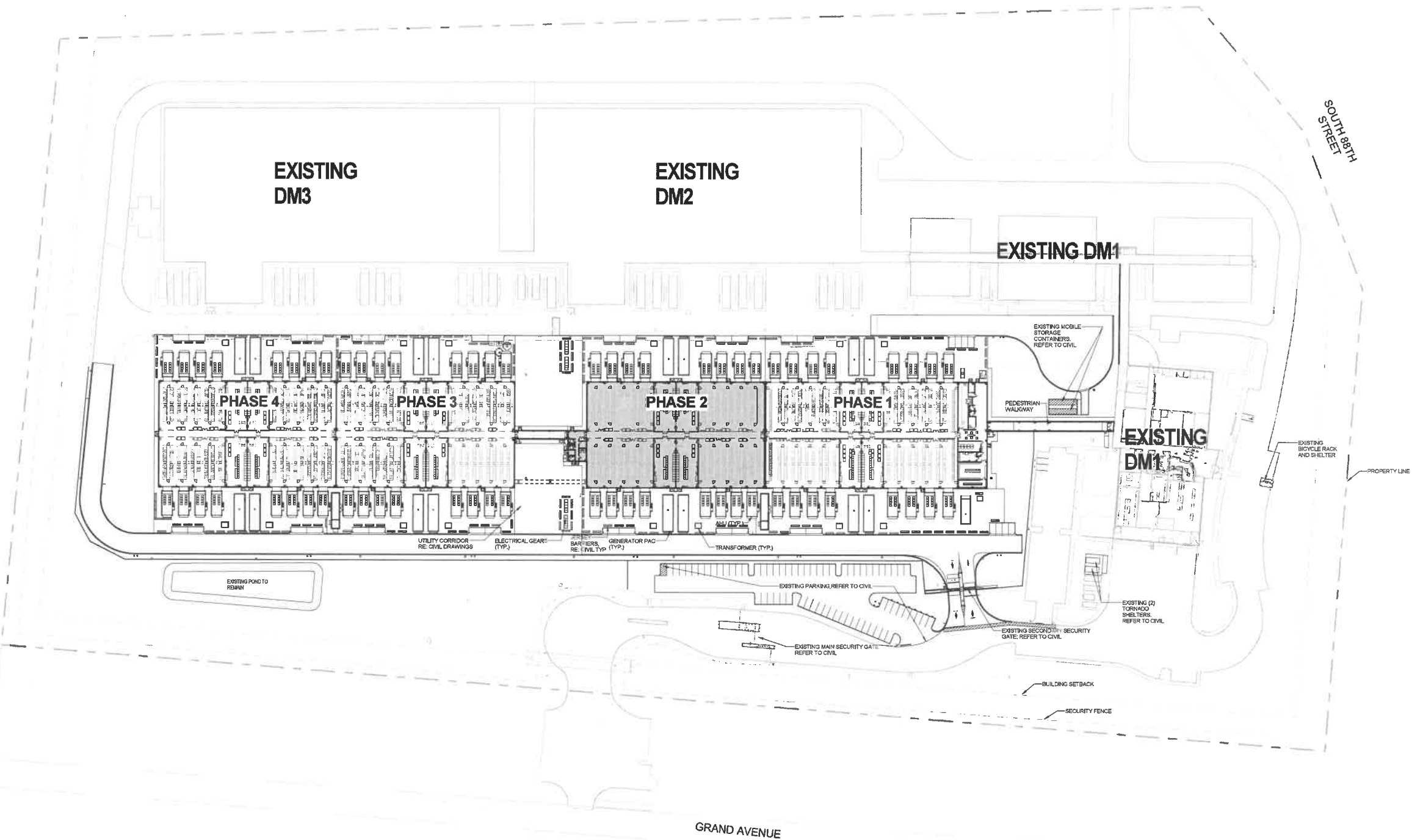


ARCHITECTURAL
SITE PLAN

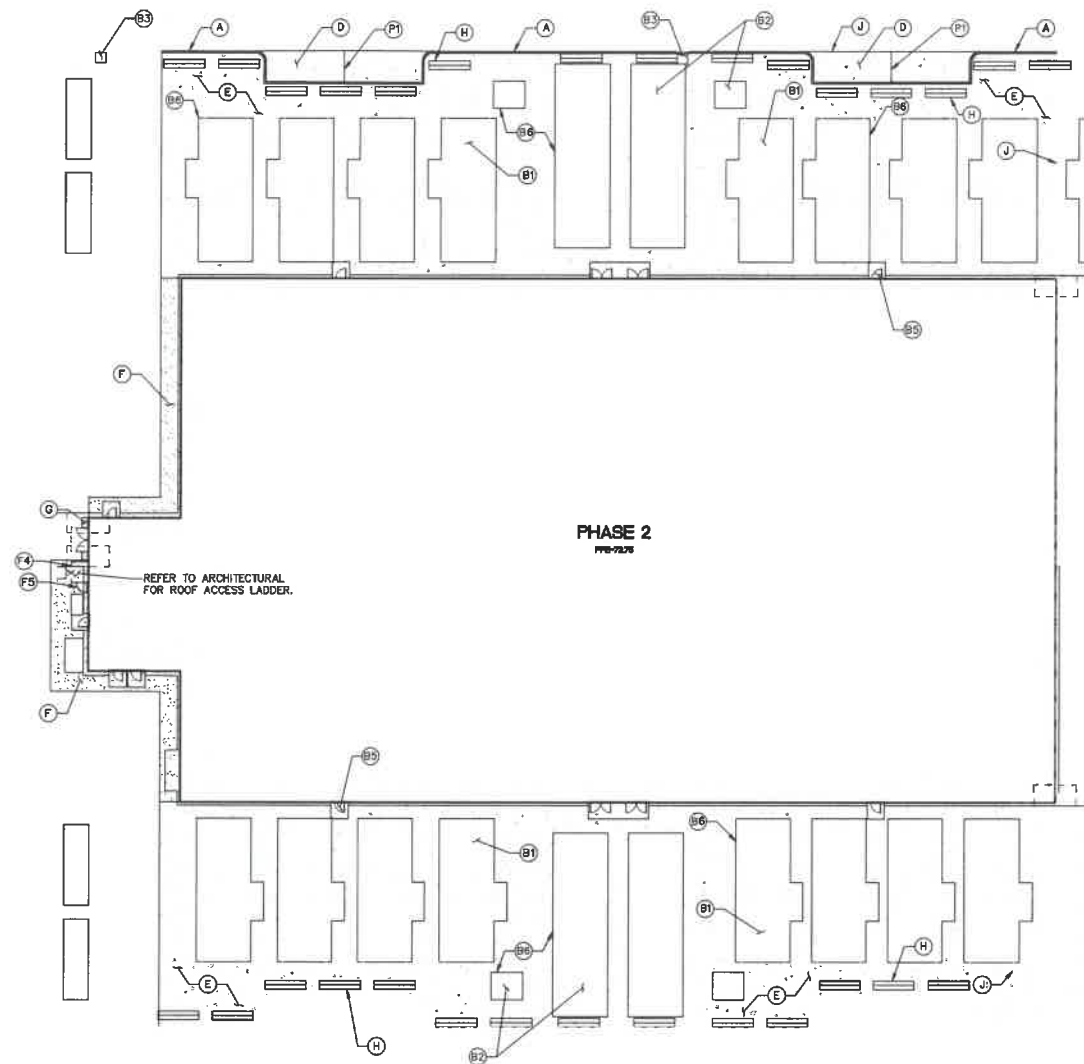
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GENERAL NOTES

- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR EACH PHASE SCOPE OF WORK RELATED TO SITE IMPROVEMENT.
- REFER TO CIVIL DRAWINGS FOR PAVING DIMENSIONS, CONTROL JOINTS, UTILITY ROUTING, SITE GRADING AND SITE DETAILS.
- REFER TO CIVIL DRAWINGS FOR TYPICAL SIDEWALK CONSTRUCTION DETAILS.
- REFER TO CIVIL DRAWINGS FOR HANDICAP PARKING SIGN DETAILS, INSTALL SIGNAGE, STRIPING, AND RAMPS AS REQUIRED BY CODE FOR ALL HANDICAP PARKING SPACES.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR FINAL HARDSCAPE AND SOFTSCAPE MATERIAL SELECTIONS.
- ALL CONCRETE EXTERIOR SURFACES THAT CONTACT THE BUILDING SHALL SLOPE A MINIMUM OF 1/4" FT, AWAY FROM THE BUILDING.
- REFER TO SECURITY DRAWINGS FOR SITE SECURITY.
- REFER TO ELECTRICAL DRAWINGS FOR GENERAL LIGHTING SCOPE OF WORK.
- COORDINATE ALL EQUIPMENT CONCRETE PAD AND DOOR STOOD LOCATIONS WITH ARCHITECTURAL, STRUCTURAL, MEP AND CIVIL DRAWINGS.
- REFER TO TELECOMMUNICATION DRAWINGS FOR UNDERGROUND CONDUITS.
- REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION SLEEVES UNDER CONCRETE PAVING.
- REFER TO CIVIL DRAWINGS FOR PARKING RELATED INFORMATION.



1 OVERALL SITE PLAN - PHASE 2
Scale: 1" = 60'-0"



LEGEND

	PROPERTY LINE
	BUILDING
	CURB AND GUTTER
	CHAINLINK FENCE
	TEMPORARY CHAINLINK FENCE
	SAWCUT
	GRAVEL
	STANDARD CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	SIGN
	BOLLARD

SITE KEY

- (ALL CALLOUTS ARE TYPICAL)
- 1 STANDARD CONCRETE CURB. (1'-0" x 6'-0")
 - 2 CONCRETE INTEGRAL CURB. (2'-0" x 6'-0")
 - 3 VALLEY GUTTER. (3'-0" x 6'-0")
 - 4 STANDARD CONCRETE PAVEMENT. (4'-0" x 6'-0")
 - 5 LIGHT DUTY CONCRETE PAVEMENT. (5'-0" x 6'-0")
 - 6 CONCRETE SIDEWALK. (6'-0" x 6'-0")
 - 7 GRAVEL SURFACING. (7'-0" x 6'-0")
 - 8 JERSEY BARRIER. (8'-0" x 6'-0")
 - 9 BOLLARD. (QUANTITIES IN PARENTHESIS) (9'-0" x 6'-0")
 - 10 CONNECT TO EXISTING PAVEMENT. (10'-0" x 6'-0")
 - 11 MECHANICAL EQUIPMENT. (SEE MECHANICAL PLANS)
 - 12 ELECTRICAL EQUIPMENT. (SEE ELECTRICAL PLANS)
 - 13 SITE LIGHTING. (SEE ELECTRICAL PLANS)
 - 14 TELECOM EQUIPMENT. (SEE TELECOM PLANS)
 - 15 DOOR STOOP. (SEE STRUCTURAL PLANS)
 - 16 EQUIPMENT PAD. (SEE STRUCTURAL PLANS)

SITE FEATURES (BY OTHERS)

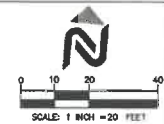
- (ALL CALLOUTS ARE TYPICAL)
- 17 MECHANICAL EQUIPMENT. (SEE MECHANICAL PLANS)
 - 18 ELECTRICAL EQUIPMENT. (SEE ELECTRICAL PLANS)
 - 19 SITE LIGHTING. (SEE ELECTRICAL PLANS)
 - 20 TELECOM EQUIPMENT. (SEE TELECOM PLANS)
 - 21 DOOR STOOP. (SEE STRUCTURAL PLANS)
 - 22 EQUIPMENT PAD. (SEE STRUCTURAL PLANS)

FENCING AND GATE KEY

- (ALL CALLOUTS ARE TYPICAL)
- 23 CONNECT TO EXISTING FENCE.
 - 24 6" TALL GALVANIZED CHAIN LINK FENCE. MATCH EXISTING INTERIOR FENCING. (24'-0" x 6'-0")
 - 25 TEMPORARY 6" TALL GALVANIZED CHAIN LINK FENCE. COORDINATE CONSTRUCTION PHASING WITH SECURITY. (25'-0" x 6'-0")
 - 26 6" TALL BLACK VINYL COATED CHAIN LINK FENCE. MATCH EXISTING INTERIOR FENCING. (26'-0" x 6'-0")
 - 27 CHAIN LINK PEDESTRIAN GATE W/ PANIC HARDWARE. (27'-0" x 6'-0")

PARKING AND STRIPING KEY

- (ALL CALLOUTS ARE TYPICAL)
- MSFT SSG = MICROSOFT SITE SIGNAGE GUIDELINES
- 28 4" WIDE, WHITE DOUBLE COAT STRIPE. (28'-0" x 4'-0")
 - 29 SPEED LIMIT SIGN PER MUTCD R2-1. (18"x24") (10 MPH) (29'-0" x 18'-0")
 - 30 STOP BAR AND SIGN. (SIGN PER MUTCD R1-1) (30'-0" x 4'-0")
 - 31 4" WIDE, WHITE STRIPING AT 45', 36" O.C. (31'-0" x 4'-0")
 - 32 SECURITY VEHICLE PARKING AND SIGN. (32'-0" x 10'-0")
 - 33 ELECTRIC VEHICLE PARKING AND SIGN MSFT SSG SP-1.9 (33'-0" x 10'-0")
 - 34 CARPOOL PARKING AND SIGN PER MSFT SSG SP-1.3 (34'-0" x 10'-0")
 - 35 LOW-EMITTING VEHICLE PARKING AND SIGN. (35'-0" x 10'-0")
 - 36 ACCESSIBLE PARKING. (36'-0" x 10'-0")



Page/

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PHASE 2
8855 GRAND AVENUE
WEST DES MOINES, IA
50266

Design: S. HUMPHREY / J. L. GORDON
Drawn: J. HUMPHREY
Checked: S. HUMPHREY
Date: 07 JUNE 2017
Note Project: 104179-1
M.S. Project No: 10417

Approvals
MICROSOFT
Design Manager: STEVE PERCE / NAVIX
Landscape Manager: STEVE PERCE / NAVIX
Civil, Site Survey, Landscaping Technical Lead: STEVE PERCE / NAVIX
Architectural & Structural Technical Lead: CRAIG PETERSON / PAGE
Mechanical & Electrical Technical Lead: CRAIG PETERSON / PAGE
Building Automation System (BAS) Technical Lead: CRAIG PETERSON / PAGE
Electrical Technical Lead: CRAIG PETERSON / PAGE
Control Panel Management System (CPMS) Technical Lead: CRAIG PETERSON / PAGE
Telecommunications / Network Technical Lead: CRAIG PETERSON / PAGE
Security Design Manager: CRAIG PETERSON / PAGE

Design Team
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Telecommunications / Network Engineering Lead: CRAIG PETERSON / PAGE
Security System Engineering Lead: CRAIG PETERSON / PAGE

Revisions
No. Date Description
13 APR 2016 ISSUED FOR PERMIT
14 APR 2016
15 APR 2016
16 APR 2016
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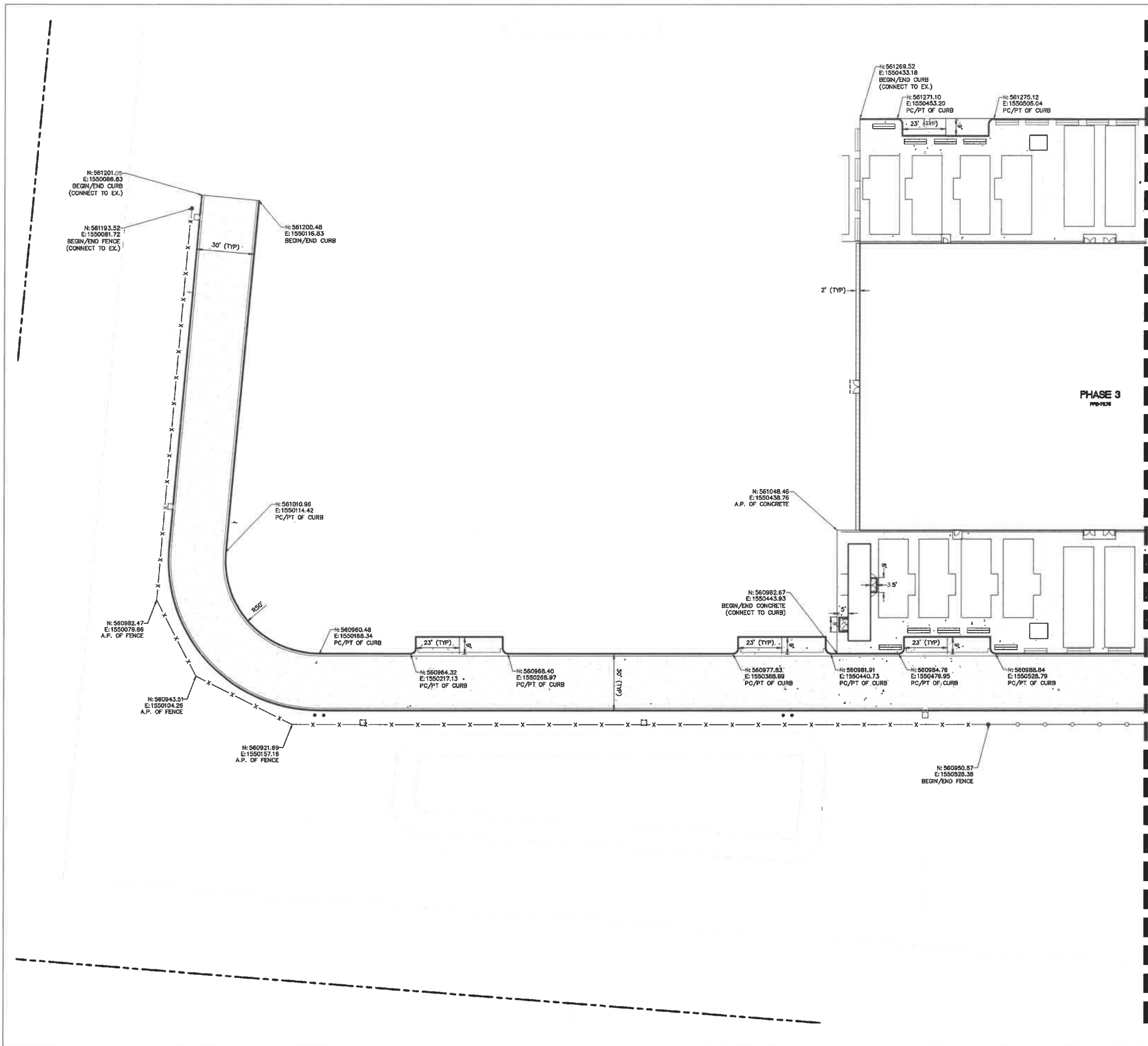
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Sheet Title/Number
**CIVIL SITE
IMPROVEMENTS
PLAN**



CITY OF WEST DES MOINES
APPROVED BY: DATE:

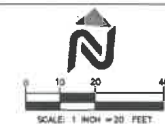
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LEGEND

---	PROPERTY LINE
A.P.	ANGLE POINT
P.I.	POINT OF INTERSECTION
EX.	EXISTING
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
M.E.	MATCH EXISTING

**FOR GENERAL NOTES
SEE SHEET C-C2-01.**



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Microsoft

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PHASE 3

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Design	B. HURPINNEY / J. H. KACHTANE
Drawn	J. H. KACHTANE
Checked	B. HURPINNEY
Date	07 JUNE 2017
Scale Project	AS SHOWN
U.S. Project No.	150 07

Approvals

MICROSOFT	
Design Manager	SPENCER M. HURPINNEY
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Civil, Site Survey, Landscaping Technical Lead	DAVID BROWN / PAGE
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Telecommunications & Network Technical Lead	THE HOSKINS / PAGE
Security Design Manager	SCOTT MULLER / REMROCK
Security Systems Engineering Lead	KEITH FOWLER / ZETA

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Mechanical Engineering Lead	CRISTO PETTERSON / PAGE
Planning Engineering Lead	PALLA STOPPER / PAGE
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Control & Instrumentation Systems (C&I) Engineering Lead	THE HOSKINS / PAGE
Telecommunications & Network Engineering Lead	SCOTT MULLER / REMROCK
Security Systems Engineering Lead	KEITH FOWLER / ZETA

Revisions

No.	Date	Description
1	13 APRIL 2015	ISSUED FOR PERMIT

Registration

SPENCER M. HURPINNEY
25878
IOWA

Sector Key Plan

Bar Code

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Sheet Title/Number

**CIVIL SITE
HORIZONTAL
CONTROL PLAN**

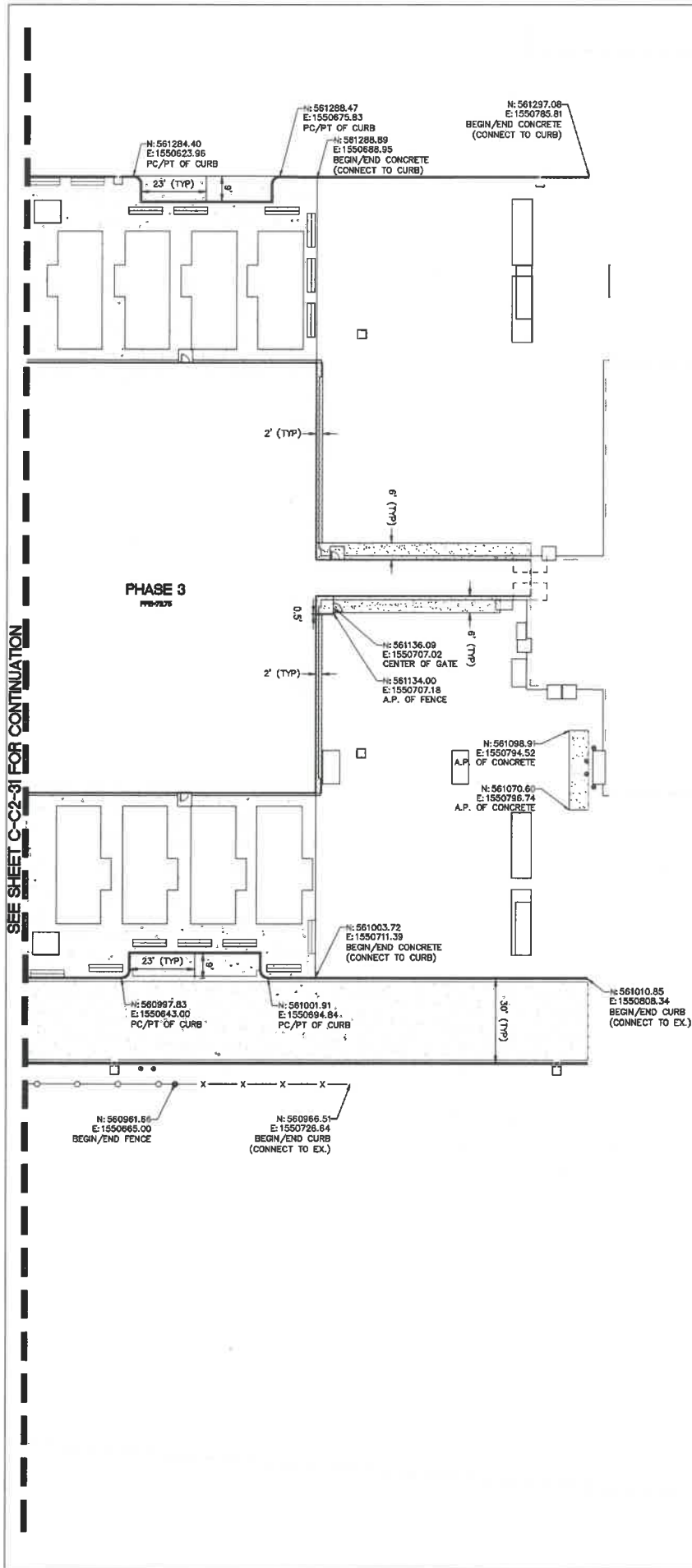
C-C2-31

811

CITY OF WEST DES MOINES

APPROVED BY: _____ DATE: _____

SEE SHEET C-C2-31 FOR CONTINUATION



LEGEND	
---	PROPERTY LINE
---	PROPOSED BUILDING
A.P.	ANGLE POINT
P.I.	POINT OF INTERSECTION
EX.	EXISTING
PC	POINT OF CURVATURE
PT	POINT OF TANGENT
M.E.	MATCH EXISTING

FOR GENERAL NOTES
SEE SHEET C-C2-01

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Microsoft
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Design	E. HUMPHREY / J. ALAMITIAN
Client	J. ALAMITIAN
Checked	B. PERCE
Date	27 JUNE 2012
How Projected	2004/2012
M.E. Projected	10/12

MICROSOFT	
Design Manager	DAVID BROWN / P&S
Landscape Manager	DAVID BROWN / P&S
Site Survey, Landscaping, Technical Lead	DAVID BROWN / P&S
Architectural & Structural Technical Lead	DAVID BROWN / P&S
Interior, Planning & Fire Protection, Technical Lead	DAVID BROWN / P&S
Building Systems, Electrical, Mechanical, Plumbing, Technical Lead	DAVID BROWN / P&S
Electrical Technical Lead	DAVID BROWN / P&S
Electrical Power Management Systems, Technical Lead	DAVID BROWN / P&S
Transmission/Distribution, Technical Lead	DAVID BROWN / P&S
Security Design Manager	CORREY HANSEN

DESIGN TEAM	
Chief Engineering Lead	STEVEN PERCE / PHD
Structural Engineering Lead	DAVID BROWN / P&S
Architectural Lead	DAVID BROWN / P&S
Interior Engineering Lead	DAVID BROWN / P&S
Planning Engineering Lead	DAVID BROWN / P&S
Fire Protection & Life Safety Engineering Lead	DAVID BROWN / P&S
Electrical Engineering Lead	DAVID BROWN / P&S
Electrical Power Management Systems (EPMS) Lead	DAVID BROWN / P&S
Transmission/Distribution Engineering Lead	DAVID BROWN / P&S
Security Systems Engineering Lead	DAVID BROWN / P&S

Revisions	
No.	Date
1	27 JUNE 2012
ISSUED FOR PERMIT	



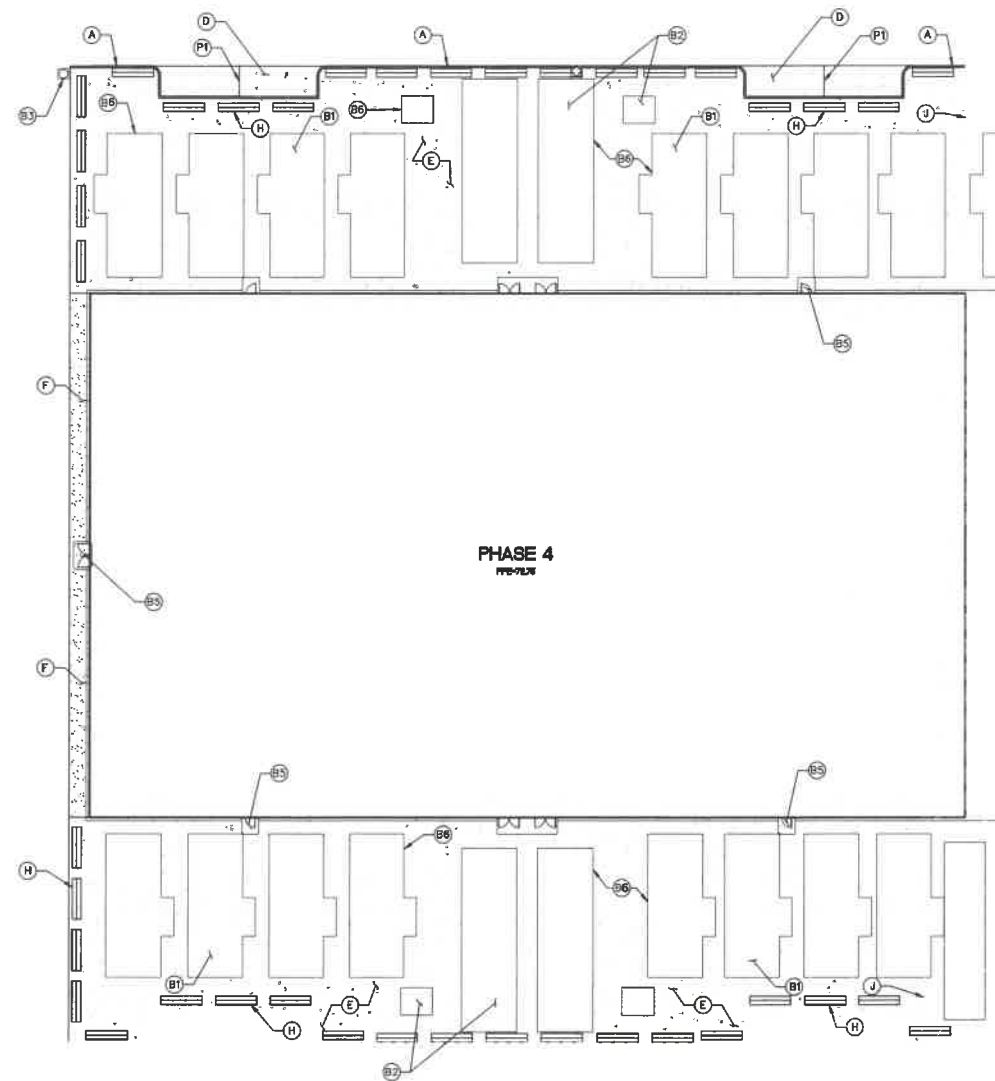
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Sheet Title/Number
**CIVIL SITE
HORIZONTAL
CONTROL PLAN**

C-C2-32

CITY OF WEST DES MOINES
APPROVED BY: _____ DATE: _____





LEGEND

---	PROPERTY LINE
---	BUILDING
---	CURB AND GUTTER
---	CHAINLINK FENCE
---	TEMPORARY CHAINLINK FENCE
---	SAWCUT
---	GRAVEL
---	STANDARD CONCRETE PAVEMENT
---	LIGHT DUTY CONCRETE PAVEMENT
---	CONCRETE SIDEWALK
---	SIGN
---	BOLLARD

SITE KEY

- (ALL CALLOUTS ARE TYPICAL)
- 1 STANDARD CONCRETE CURB
 - 2 CONCRETE INTEGRAL CURB
 - 3 VALLEY GUTTER
 - 4 STANDARD CONCRETE PAVEMENT
 - 5 LIGHT DUTY CONCRETE PAVEMENT
 - 6 CONCRETE SIDEWALK
 - 7 GRAVEL SURFACING
 - 8 JERSEY BARRIER
 - 9 BOLLARD, (QUANTITIES IN PARENTHESIS)
 - 10 CONNECT TO EXISTING PAVEMENT

SITE FEATURES (BY OTHERS)

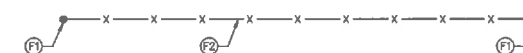
- (ALL CALLOUTS ARE TYPICAL)
- 11 MECHANICAL EQUIPMENT, (SEE MECHANICAL PLANS)
 - 12 ELECTRICAL EQUIPMENT, (SEE ELECTRICAL PLANS)
 - 13 SITE LIGHTING, (SEE ELECTRICAL PLANS)
 - 14 TELECOM EQUIPMENT, (SEE TELECOM PLANS)
 - 15 DOOR STOOP, (SEE STRUCTURAL PLANS)
 - 16 EQUIPMENT PAD, (SEE STRUCTURAL PLANS)

FENCING AND GATE KEY

- (ALL CALLOUTS ARE TYPICAL)
- 17 CONNECT TO EXISTING FENCE
 - 18 6" TALL GALVANIZED CHAIN LINK FENCE, MATCH EXISTING INTERIOR FENCING
 - 19 TEMPORARY 6" TALL GALVANIZED CHAIN LINK FENCE, COORDINATE CONSTRUCTION PHASING WITH SECURITY
 - 20 6" TALL BLACK VINYL COATED CHAIN LINK FENCE, MATCH EXISTING INTERIOR FENCING
 - 21 CHAIN LINK PEDESTRIAN GATE W/ PANIC HARDWARE

PARKING AND STRIPING KEY

- (ALL CALLOUTS ARE TYPICAL)
- MSFT SSG = MICROSOFT SITE SIGNAGE GUIDELINES
- 22 4" WIDE, WHITE DOUBLE COAT STRIPE
 - 23 SPEED LIMIT SIGN PER MUTCD R2-1, (18"x24") (10 MPH)
 - 24 STOP BAR AND SIGN, (SIGN PER MUTCD R1-1)
 - 25 4" WIDE, WHITE STRIPING AT 45', 36" O.C.
 - 26 SECURITY VEHICLE PARKING AND SIGN, MSFT SSG SP-1.9
 - 27 ELECTRIC VEHICLE PARKING AND SIGN MSFT SSG SP-1.9
 - 28 CARPOOL PARKING AND SIGN PER MSFT SSG SP-1.3
 - 29 LOW-EMITTING VEHICLE PARKING AND SIGN
 - 30 ACCESSIBLE PARKING



Page/

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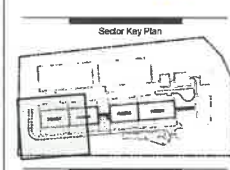
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Name / Project No.	SSS07113
A.E. Project No.	14817

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Revisions	
No.	Revision
1	ISSUED FOR PERMIT



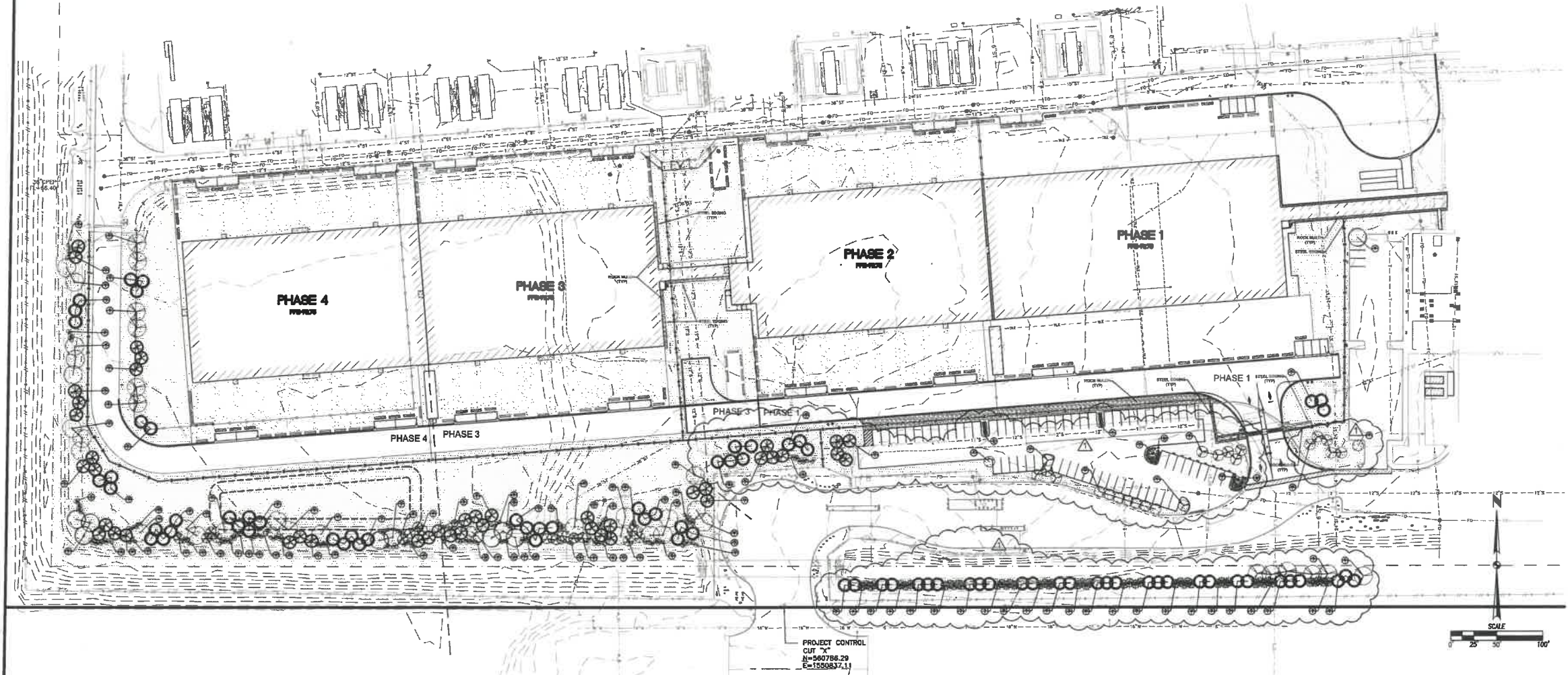
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Sheet Title/Number
**CIVIL SITE
IMPROVEMENTS
PLAN**

C-C1-41



CITY OF WEST DES MOINES
APPROVED BY: _____ DATE: _____



PLANT SCHEDULE					
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
EB	78	Black Hills Spruce	Picea glauca densata	80B	6" HEIGHT
PS	43	White Pine	Pinus strobus	80B	6" HEIGHT
IG	48	Green Giant Arborvitae	Thuja standishii x plicata 'Green Giant'	80B	6" HEIGHT
NATIVE TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
BM	3	Black Maple	Acer nigrum	80B	2"
AB	3	Autumn 'Strip Red Maple	Acer rubrum 'Autumn Strips'	80B	2"
AE	12	Endowment Maple	Acer saccharum 'Endowment'	80B	2"
AM	5	Oreocand Maple	Acer saccharum 'Morton'	80B	2"
AS	8	Servicberry	Amelanchier alnifolia	80B	6" MULTI-STEM
OC	7	Scotch Broom	Centa canadensis	80B	6" MULTI-STEM
OH	13	Outsider Hawthorn	Crataegus crus-galli 'Outsider' TM	80B	2"
OS	1	Skyline Honey Locust	Gleditsia triflorata 'Skyline'	80B	2"
MS	15	Pink Spire Crab Apple	Malus x 'Pink Spire'	80B	2"
QA	8	White Oak	Quercus alba	80B	2"
QR	13	Red Oak	Quercus rubra	80B	2"
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
CHZ	8	Ivory Halo Dogwood	Cornus alba 'Balthus' TM	5 GAL	
CD	81	Grey Dogwood	Cornus racemosa	5 GAL	
CA	20	American Hazzelut	Corylus americana	5 GAL	
PU	74	Jackman's Potentilla	Potentilla fruticosa 'Jackman'	5 GAL	
SE	82	Elderberry	Sambucus canadensis	5 GAL	
VB	35	Blackthorn Viburnum	Viburnum prunifolium	5 GAL	

PERMANENT LAWN SEED MIXTURE
HYDRAULIC SEEDING
REFER TO SPECIFICATIONS

CAMPUS WIDE LANDSCAPE TOTALS

TOTAL SITE AREA: =1,819,478 S.F. (41.8 AC.)
20% OPEN SPACE REQUIRED: =363,895 S.F. (8.3 AC.)

OPEN SPACE LANDSCAPE REQUIREMENTS

TREES REQUIRED: =243
(2/2000 S.F.)
SHRUBS REQUIRED: =363
(1/3000 S.F.)

80' STREET BUFFER REQUIREMENTS

TOTAL 80' L.F. OF 80' BUFFER
BUFFER UNITS REQUIRED: 1 TREE, 3 SHRUBS/25 L.F.
TREES REQUIRED: 20 SHRUBS REQUIRED: 59

GRAND AVENUE BUFFER REQUIREMENTS

TOTAL 1900 L.F. OF 80' BUFFER
BUFFER UNITS REQUIRED: 1 TREE, 3 SHRUBS/25 L.F.
TREES REQUIRED: 50 SHRUBS REQUIRED: 182

TOTAL CAMPUS WIDE PLANT MATERIAL REQUIREMENTS:
TREES: 318 SHRUBS: 394

PLANT MATERIAL PROVIDED WITH PREVIOUS PHASES:
TREES: 210 SHRUBS: 521

PLANT MATERIAL PROVIDED IN THIS PLAN:
TREES: 108 SHRUBS: 268

TOTAL CAMPUS WIDE PLANT MATERIAL PROVIDED:
TREES: 300 SHRUBS: 789

DM4 PHASES 1 - 4 LANDSCAPE TOTALS

TOTAL SITE AREA: =850,428 S.F. (19.5 AC.)
20% OPEN SPACE REQUIRED: =170,085 S.F. (3.9 AC.)

OPEN SPACE LANDSCAPE REQUIREMENTS

TREES REQUIRED: =87
(2/2000 S.F.)
SHRUBS REQUIRED: =130
(1/3000 S.F.)

GRAND AVENUE BUFFER REQUIREMENTS

TOTAL 1500 L.F. OF 80' BUFFER
BUFFER UNITS REQUIRED: 1 TREE, 3 SHRUBS/25 L.F.
TREES REQUIRED: 42 SHRUBS REQUIRED: 128

TOTAL PLANT MATERIAL PROVIDED:

TREES: =45
OVERSTORY TREES: =44
UNDERSTORY TREES: =1
TOTAL TREES: =258
SHRUBS: =268



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
3. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR 500, IF REQ.)
4. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
5. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
6. ALL DEBRIS SPILLED IN ANY PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
7. NO OVERSTORY TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.
8. ROCK MULCH SHALL BE 1.5"-3" GRANITE CHIPS, MINIMUM DEPTH OF 3" OVER MIRACASPE LANDSCAPE FABRIC (OR EQUAL). EDGING BETWEEN ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.



SEED TYPE #1 PERMANENT LAWN MIXTURE
HYDRAULIC SEEDING
REFER TO SPECIFICATIONS

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MOST RECENT EDITION OF THE WEST DES MOINES STANDARDS FOR SUBDIVISIONS.
3. BACKFILL TO TOP OF CURB MINUS 1 1/2" FOR 5% FILL, W/ F.R.O.
4. MIXED PERMANENT (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS OR PER MANUFACTURER'S RECOMMENDATION.
5. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
6. ALL TREES SPILLED IN ANY PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
7. NO OBSTACLE TREES SHALL BE PLANTED IN ANY CITY OF WEST DES MOINES PUBLIC UTILITY EASEMENT.
8. ROCK MULCH SHALL BE 1.5" - 3" GRANITE CURBS, MINIMUM DEPTH OF 3" OVER MPRASCAL LANDSCAPE FABRIC (OR EQUIVALENT), EDGING SHALL BE 1/2" MINIMUM AND MINUS 1/4" FOR 5% FILL, W/ F.R.O.



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Appendix A		
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Revisions		
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A	11 MAY 2017	30% SCHEMATIC DESIGN
B	07 JUNE 2017	60% DESIGN DEVELOPMENT
C	05 JULY 2017	90% CD ISSUE
D	31 JULY 2017	100% DESIGN COMPLETION

Registration

Sector Key Plan

Bar Code

Sheet Title/Number

ARCHITECTURAL
EXTERIOR
ELEVATION

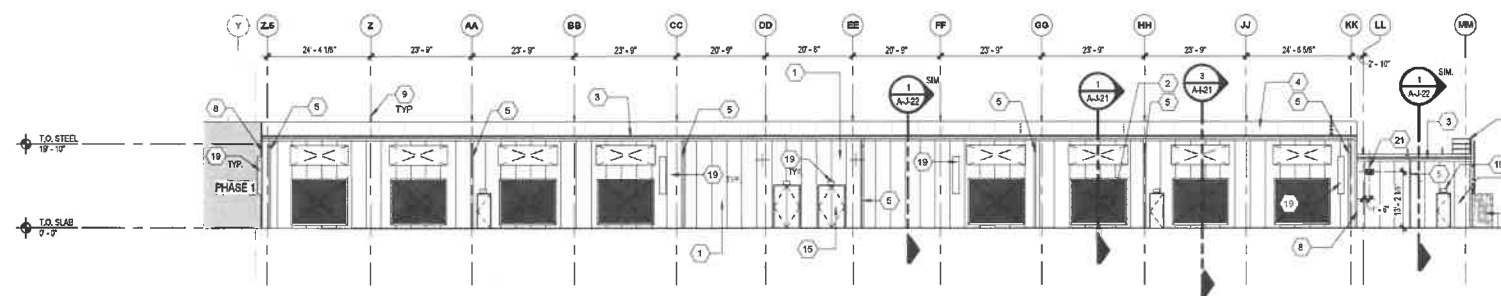
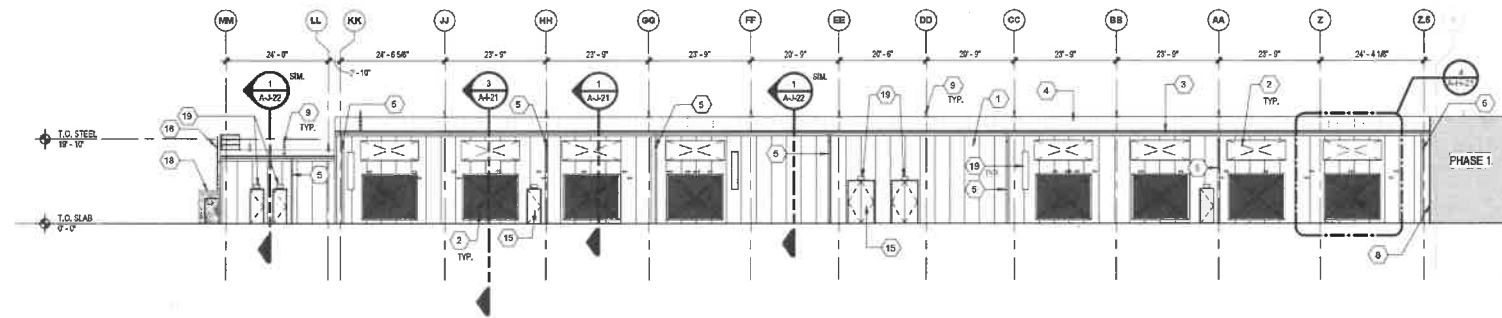
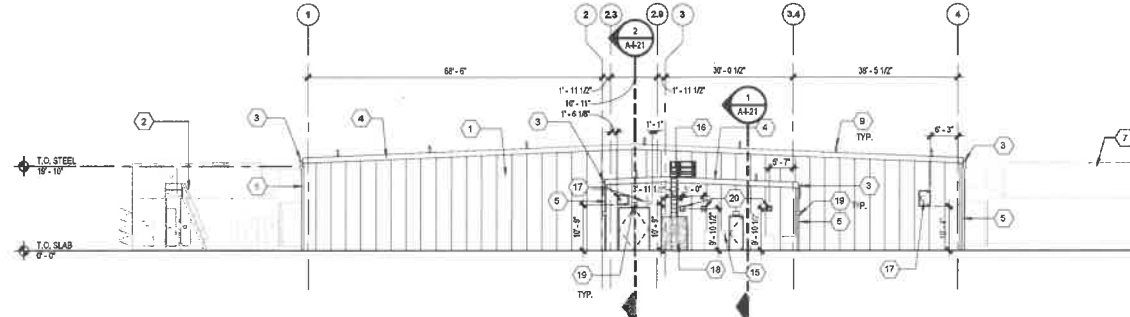
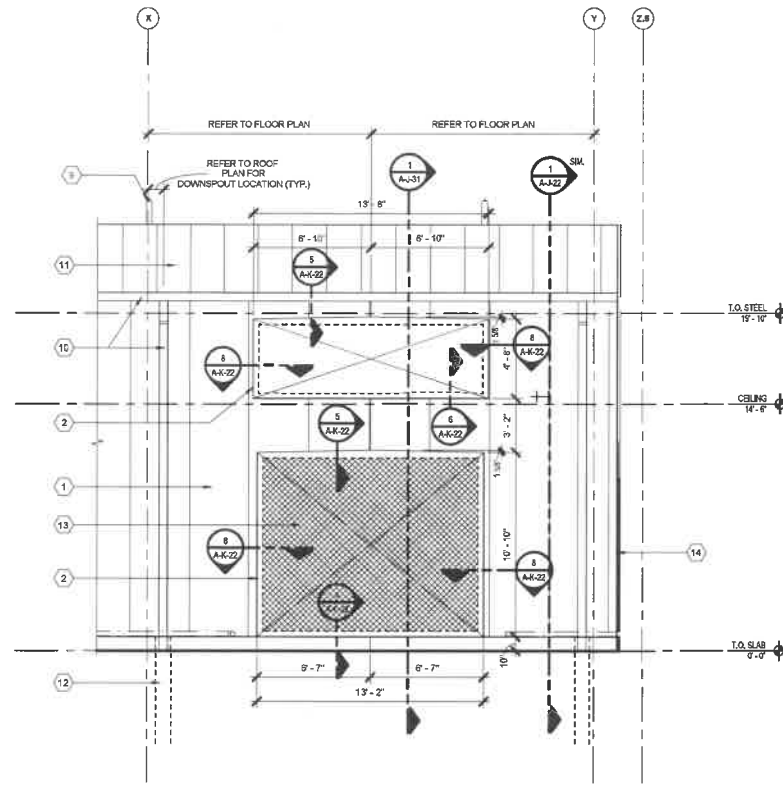
A-H-21

KEYED NOTES

1	PRE-FINISHED INSULATED METAL PANEL PANEL SYSTEM U-VALUE EQUIVALENT TO 0.052 MINIMUM
2	AHU DUCT OPENINGS
3	CONTINUOUS METAL GUTTER; REFER 10A-K-22 AND 11A-K-22
4	STANDING SEAM METAL ROOFING SYSTEM; REFER 30A-K-11
5	METAL DOWNSPOUT; REFER 8A-K-12 AND 9A-K-12
6	ELEC. EQUIPMENT; RE: ELEC. DRAWINGS (TYP.)
7	AHU EQUIPMENT AND PLATFORM; RE: MECH DWGS (TYP.)
8	2" BUILDING WALL EXPANSION JOINT
9	OSHA COMPLIANT FALL PROTECTION SYSTEM; COORDINATE WITH PEMB DESIGN. REFER 7A-K-11
10	DOWNSPOUTS; REFER 8A-K-12 AND 9A-K-12
11	STANDING SEAM METAL ROOFING SYSTEM; REFER 30A-K-11
12	REFER CIVIL FOR STORM DRAIN LOCATIONS
13	YWW-1 WIRE SECURITY MESH
14	FACE OF INSULATED METAL PANEL PANEL SYSTEM
15	DOOR AS SCHEDULED (TYP.)
16	METAL LADDER ACCESS PLATFORM AND GUARD RAILS WITH GATE; COORDINATE WITH PEMB MANUFACTURER
17	FUTURE UTILITY ACCESS DOOR; REFER DOOR SCHEDULE
18	CHAIN LINK FENCE AND GATE; PAINTED BLACK
19	EXTERNAL MOUNTED LIGHT FIXTURE, RE: ELECTRICAL
20	MECHANICAL OPENING; REFER MECH FOR SIZE AND SPECIFICATIONS
21	MECHANICAL LOUVER; REFER MECH FOR SIZE AND SPECIFICATIONS

GENERAL NOTES

- THE KEYED NOTES ARE PART OF A MASTER LIST FOR EXTERIOR ELEVATION DRAWINGS. SOME KEYED NOTES MAY NOT APPEAR ON ALL DRAWINGS.
- REFER TO DRAWING A-2.2 FOR GENERAL NOTES, SYMBOL, LEGENDS, AND ABBREVIATIONS.
- REFER TO THE FINISH LEGEND & EXTERIOR FINISH DIAGRAM FOR ADDITIONAL MATERIAL AND COLOR INFORMATION.
- GENERATORS AND OTHER EQUIPMENT SHOWN IN THE FOREGROUND OF THE BUILDING ELEVATIONS ARE NOT SHOWN FOR CLARITY IN THE ENLARGED ELEVATIONS.
- REFER TO DETAILS IN THE ASK SPECIFICATIONS DRAWINGS FOR CONDUIT / PIPE WALL PENETRATION DETAILS. NOT ALL WALL PENETRATIONS ARE SHOWN ON THE ELEVATIONS. REFER TO ELECTRICAL, MECHANICAL, PLUMBING, AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.

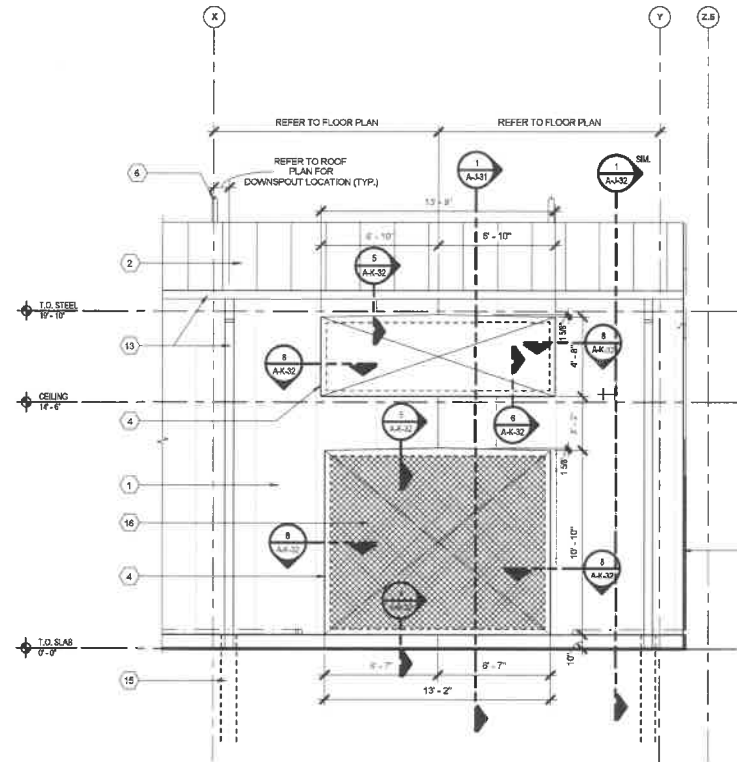


KEYED NOTES

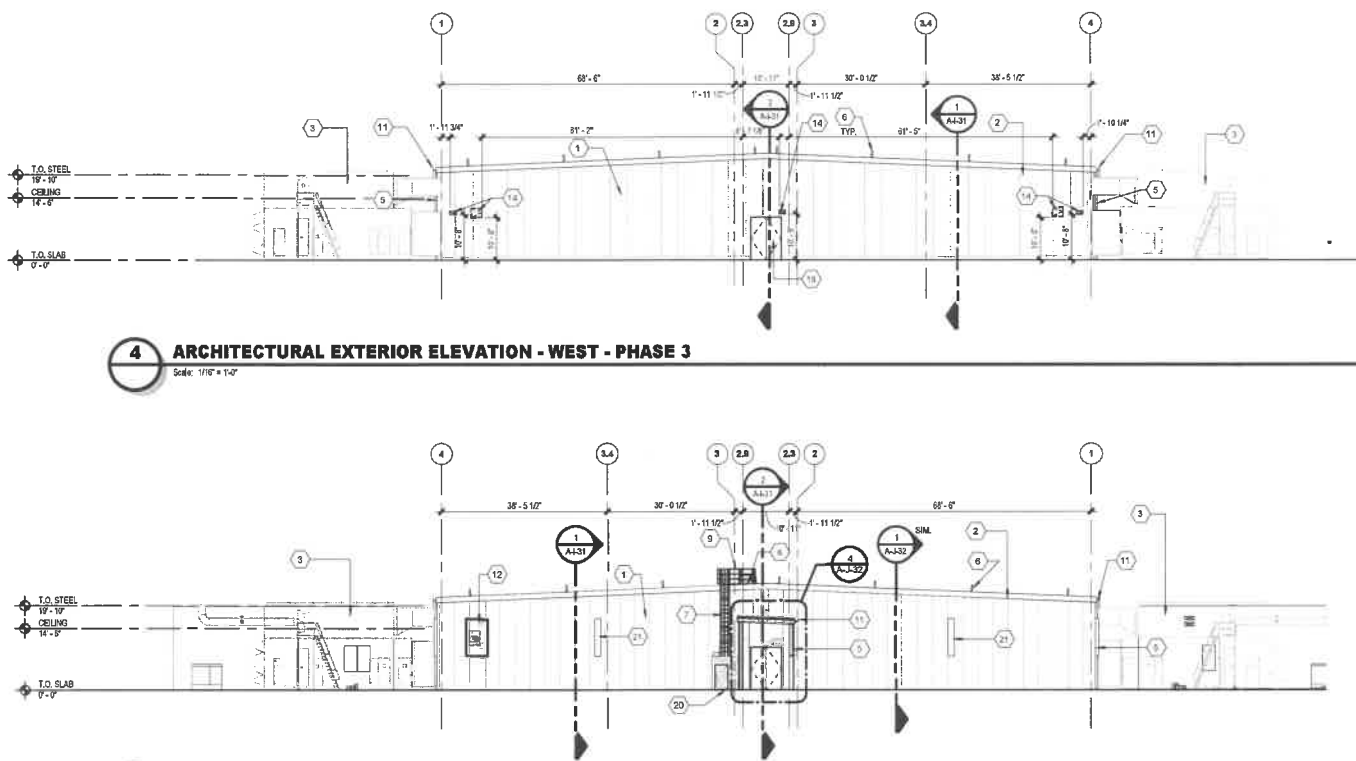
1. PREFINISHED INSULATED METAL WALL PANEL SYSTEM, U-VALUE EQUIVALENT TO 0.052 MINIMUM
2. STANDING SEAM METAL ROOFING SYSTEM, REFER 38-A-11
3. AHU EQUIPMENT AND PLATFORM, RE: MECH DWGS (TYP.)
4. AHU DUCT OPENINGS
5. METAL DOWNSPOUT, REFER 6A-K-12, AND 9A-K-12
6. OSHA COMPLIANT FALL PROTECTION SYSTEM, COORDINATE WITH PEMB DESIGN, REFER 7A-K-11
7. OSHA COMPLIANT ROOF ACCESS CAGED LADDER, PROVIDE LADDER FALL PROTECTION SYSTEM SIMILAR TO "GUARDIAN FALL PROTECTION CABLE LADDER SYSTEM" OR APPROVED EQUAL
8. PRE-MANUFACTURED GRATING SYSTEM AT PLATFORM, MOUNTED USING PRE-MANUFACTURED COMPONENTS TO STANDING SEAM METAL ROOF SYSTEM, COORDINATE WITH PEMB DESIGN
9. OSHA COMPLIANT GUARD RAIL GATE
10. CAGED ROOF ACCESS LADDER
11. COAT, METAL CUTTER (TYP.)
12. UTILITY BRIDGE, REFER SHEET "A-G-33"
13. DOWNSPOUTS, REFER 6A-K-12 AND 9A-K-12
14. FUTURE UTILITY ACCESS DOOR, REFER DOOR SCHEDULE
15. REFER CIVIL FOR STORM DRAIN LOCATIONS
16. W-4 WIRE SECURITY MESH
17. FACE OF INSULATED METAL WALL PANEL SYSTEM DOOR AS SCHEDULED (TYP.)
18. 2" BUILDING WALL EXPANSION JOINT
19. CHAIN LINK FENCE AND GATE, PAINTED BLACK
20. EXTERIOR WALL MOUNTED LIGHT FIXTURE, RE: ELECTRICAL
21. MECHANICAL LOUVER, REFER MECH FOR SIZE AND SPECIFICATIONS

GENERAL NOTES

- A. THE KEYED NOTES ARE PART OF A MASTER LIST FOR EXTERIOR ELEVATION DRAWINGS. SOME KEYED NOTES MAY NOT APPEAR ON ALL DRAWINGS.
- B. REFER TO DRAWING C-A-12 FOR GENERAL NOTES, SYMBOL LEGENDS, AND ABBREVIATIONS.
- C. REFER TO THE FINISH LEGEND & EXTERIOR FINISH DIAGRAM FOR ADDITIONAL MATERIAL AND COLOR INFORMATION.
- D. GENERATORS AND OTHER EQUIPMENT SHOWN IN THE FOREGROUND OF THE BUILDING ELEVATIONS ARE NOT SHOWN FOR CLARITY IN THE ENLARGED ELEVATIONS.
- E. REFER TO DETAILS IN THE A-K SERIES DRAWINGS FOR CONDUIT / PIPE WALL PENETRATION DETAILS. NOT ALL PIPE PENETRATIONS ARE SHOWN ON THE ELEVATIONS. REFER TO ELECTRICAL, MECHANICAL, PLUMBING, AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.

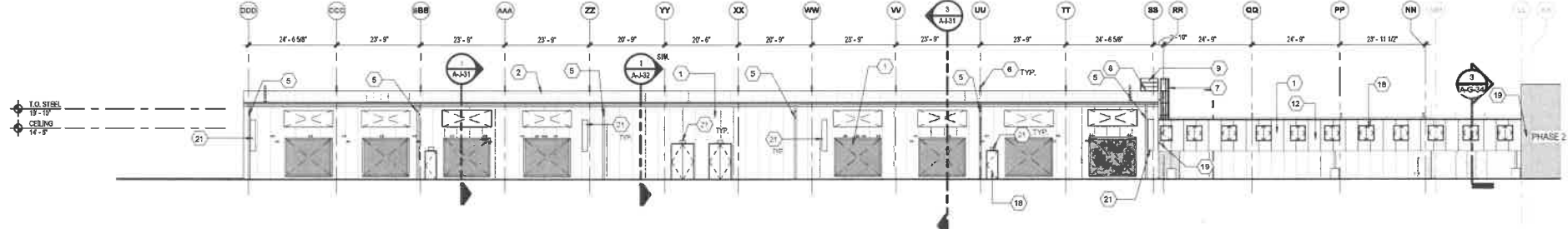


4 ARCHITECTURAL EXTERIOR ELEVATION - WEST - PHASE 3
Scale: 1/8" = 1'-0"

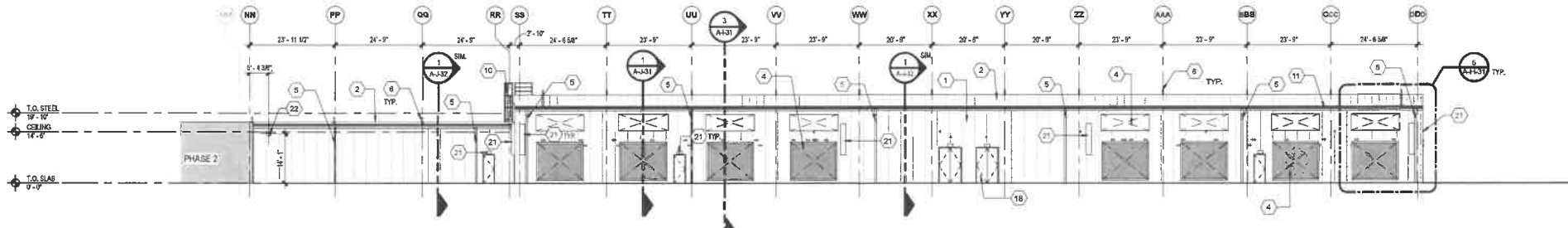


3 ARCHITECTURAL EXTERIOR ELEVATION - EAST - PHASE 3
Scale: 1/8" = 1'-0"

5 ARCHITECTURAL EXTERIOR ELEVATION - TYP. OPENING - PHASE 3
Scale: 1/8" = 1'-0"



2 ARCHITECTURAL EXTERIOR ELEVATION - SOUTH - PHASE 3
Scale: 1/8" = 1'-0"



1 ARCHITECTURAL EXTERIOR ELEVATION - NORTH - PHASE 3
Scale: 1/8" = 1'-0"

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JOSEPH FOWLER / ZBETA	

Revisions

No.	Date	Description
A	11 MAY 2017	30% SCHEMATIC DESIGN
B	07 JUNE 2017	60% DESIGN DEVELOPMENT
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D	31 JULY 2017	100% DESIGN COMPLETION

Registration

Sector Key Plan

Bar Code

Sheet Title/Number

A-H-41

14-00000

1	CONT. METAL GUTTER (TYP)
2	2 PREFINISHED INSULATED METAL WALL PANEL SYSTEM, U-VALUE EQUIVALENT TO 0.052 MINIMUM
3	STANDING SEAM METAL ROOFING SYSTEM, REFER 3A-K-11
4	CONTINUOUS METAL GUTTER, REFER 3A-K-12 AND 3A-K-12
5	METAL DOWNSPOUT, REFER 3A-K-12, AND 3A-K-12
6	AHU DUCT OPENINGS
7	2" BUILDING WALL EXPANSION JUNT
8	DOWNSPOUTS, REFER 3A-K-12 AND 3A-K-12
9	OSHA COMPLIANT FALL PROTECTION SYSTEM, COORDINATE WITH FEMP DESIGN, REFER 7A-K-11
10	REFER CIVIL FOR STORM DRAIN LOCATIONS
11	MM-1 MIRE SURFACE MESH
12	FACE OF INSULATED METAL WALL PANEL SYSTEM
13	DOOR AS SCHEDULED (TYP)
14	AHU EQUIPMENT AND PLATFORM, RE: MECH DWG (TYP)
15	EXTERIOR WALL MOUNTED LIGHT FIXTURE, RE: ELECTRICAL

- A. THE KEYED NOTES ARE PART OF A MASTER LIST FOR EXTERIOR ELEVATION DRAWINGS. SOME KEYED NOTES MAY NOT APPEAR ON ALL DRAWINGS
- B. REFER TO DRAWING C-4-2 FOR GENERAL NOTES, SYMBOL LEGENDS, AND ABBREVIATIONS.
- C. REFER TO THE FINISH LEGEND & EXTERIOR FINISH DIAGRAM FOR ACTUAL FINISHES AND COLOR INFORMATION.
- D. GENERATORS AND OTHER EQUIPMENT SHOWN IN THE FOREGROUND OF THE BUILDING ELEVATIONS ARE NOT SHOWN FOR CLARITY IN THE ENLARGED ELEVATIONS.
- E. REFER TO SUB AREA C-4-3 SERIES DRAWINGS FOR CONDUIT / PIPE WALL PENETRATION DETAILS. NOT ALL PIPE PENETRATIONS ARE SHOWN ON THE ELEVATIONS, REFER TO ELECTRICAL, MECHANICAL, PLUMBING, AND TELECOM DRAWINGS FOR ADDITIONAL INFORMATION.

Scale: 1/8" = 1'-0"

Scale: 1/16" = 1'-0"

Scale: 1/16" = 1'

Scale: 1" = 1 mi

